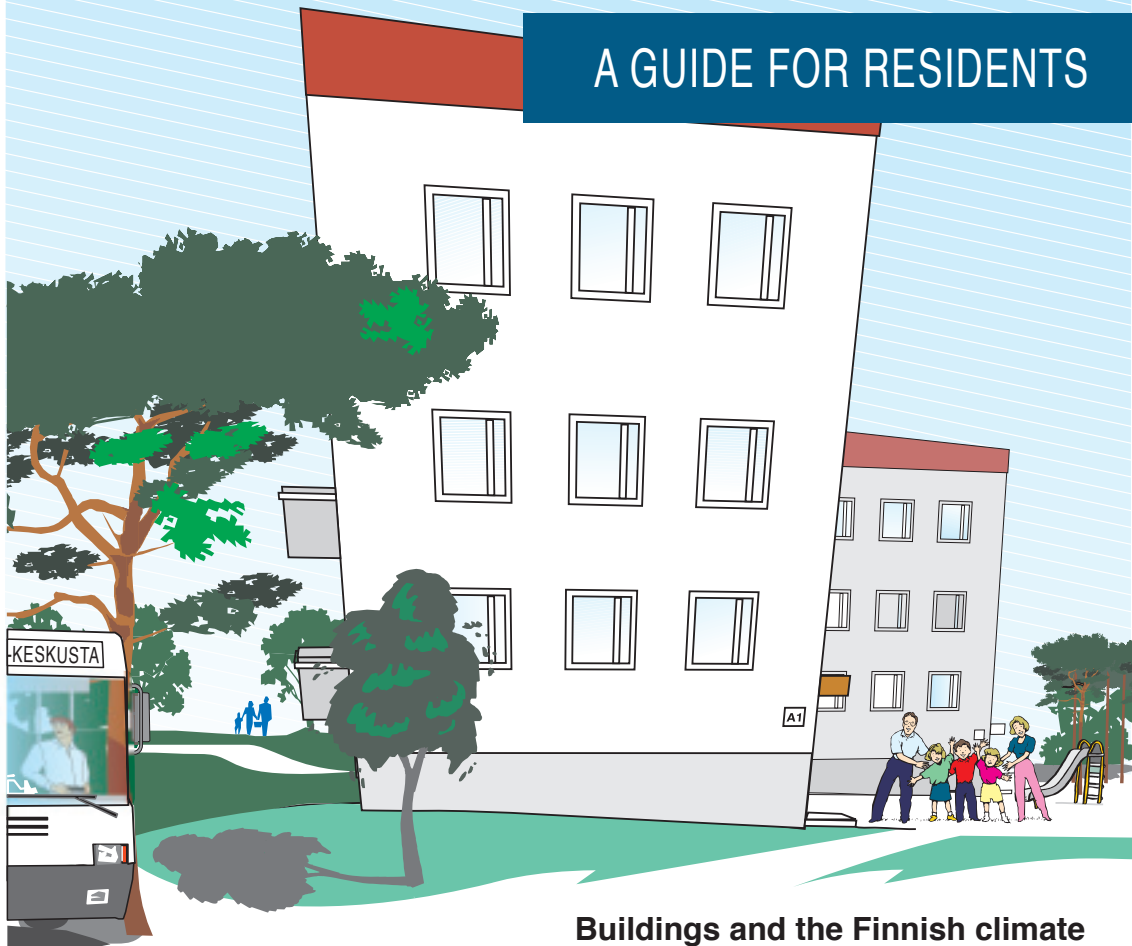


MY HOME

IN A HOUSING BLOCK

A GUIDE FOR RESIDENTS



One half of Finns live
in housing blocks,
which is a safe
and comfortable
way to live.
Welcome a board!

Buildings and the Finnish climate

There are four seasons in Finland: spring, summer, winter and autumn. There is an even amount of rain, but the temperatures change a lot in different seasons.

The structures and the technology in a house make sure that it is comfortable to live in a flat throughout the year.

A home protects people from cold, wind and rain.

The Residents must know how to take care of their home.



City of Helsinki



**Neighbourhood
Project**
Helsinki

ON LIVING IN THE BUILDING...



If there is a **water leak in your flat**, tell the maintenance company immediately!

1 Heating system of the building

The heat comes into the room from radiators. Their temperature is controlled from the heating station depending on the temperature outside. Each radiator also has a thermostat or a controller. They adjust the temperature of the radiator so that the temperature in the room is pleasant.

2 Temperature and humidity in the flat

The temperature in the flat must be even at all times. The temperature in a room must be between 20 and 22 °C. The temperature in a room must not be under 18 °C or over 24 °C. The humidity in the room air must not be so high that the windows steam up.

The houses are built so that as little energy as possible is used for heating. This is why the roof and the walls of the house are insulated well and there are several panes of glass in the windows.

When energy is saved, the energy bill is small. If the flat is cold, contact the building's maintenance company.

3 Radiators

Do not cover the radiators with for example curtains. Do not put a sofa or other pieces of furniture in front of the radiator, because they prevent the flow of warm air into the room.

4 Avoiding water damage

Leaking pipes and household appliances that use water may cause water damage. That is why it is important to occasionally check that water does not drip from household appliances onto the floor.

There must be a protective plastic basin under the refrigerator, freezer and dishwasher. The basin is bought and installed at the same time as the appliance. You cannot install the dishwasher yourself; you must get a professional to do it for you.



Always keep the dishwasher's and washing machine's water inlet taps closed when you are not using the appliance. Never leave the dishwasher or the washing machine turned on when you leave the flat.

5 Plumbing fixtures

If the water tap or the toilet bowl leaks, it must be fixed. Even a small water leak can increase the water bill very quickly. Notify the building's maintenance company about a water leak immediately.



6 Water supply network

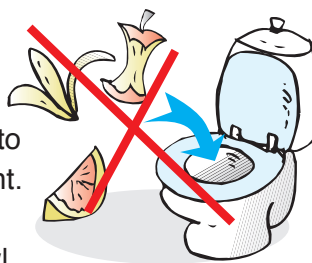
The water pipes in the building bring warm and cold water into the flats from the municipal water supply network. The water is safe to drink. If there is no warm water coming from the tap, contact the maintenance company.

7 (A) Sewage

Sewage and water from the toilet go from the flat via sewer pipes to the water treatment plant. You can only put toilet paper into the toilet bowl.

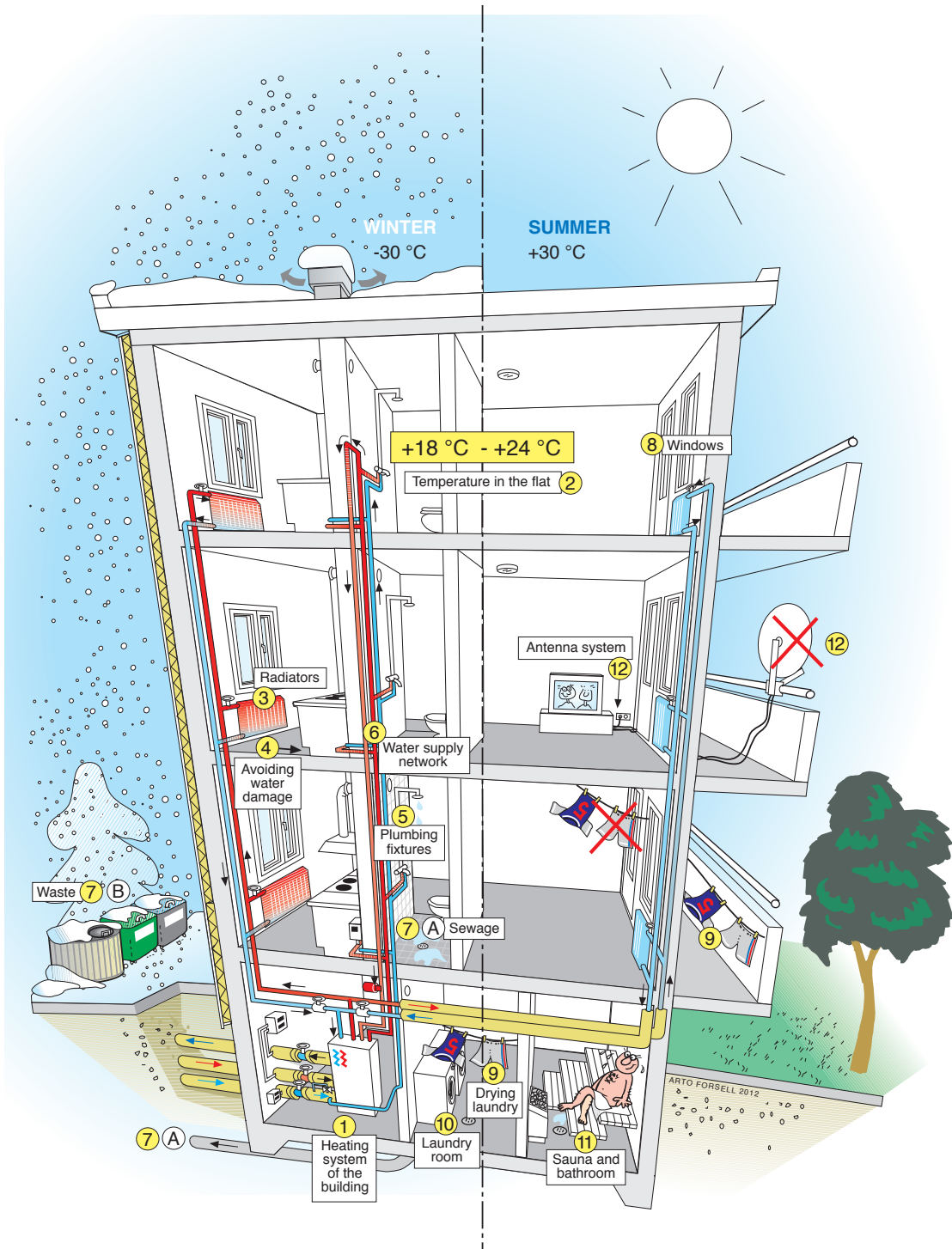
Do not put food waste into the toilet bowl.

You must not pour cooking oil or grease into the sewer. It may cause a blockage in the pipes.



7 (B) Waste

The waste is sorted into different waste bins at home. The waste bins are emptied into the building's waste bins. Make sure that you put the right kind of waste into the right bin.

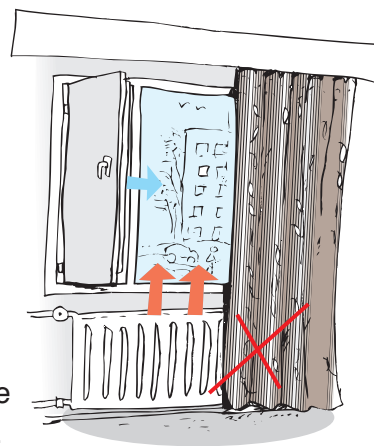


8 Windows

Windows let light into the flat. There are small ventilation windows for getting fresh air into the flat. Ventilate the flat efficiently and for a short time, especially in winter. Do not leave the windows open when you leave the flat! If it rains, the water that comes in can damage the window, the wall and the floor.

It feels cold and draughty next to the windows in winter. This is why the radiators are placed under them. The warm air rises up in front of the window and makes the room feel less draughty.

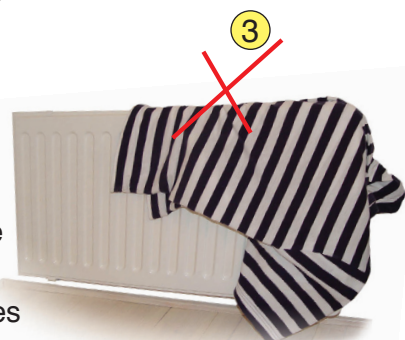
The windows are insulated to stop cold air from coming in. If there is still cold air coming between the window frame, contact the building's maintenance company. You should also contact the maintenance company if there is steam, frost or ice on the windows.



3

9 Drying laundry

You can dry small amounts of laundry in the bathroom. It is not allowed to dry laundry in the other rooms, because the water condenses on the window panes, for example, and damages the structures. You can dry laundry on the balcony, as long as the laundry cannot be seen outside the building. However, the best place to dry laundry is the building's drying room.



3

10 Laundry room

You can wash large amounts of laundry in the building's laundry room, and dry it either in the tumble dryer or in the drying room.



1

11 Sauna and bathroom

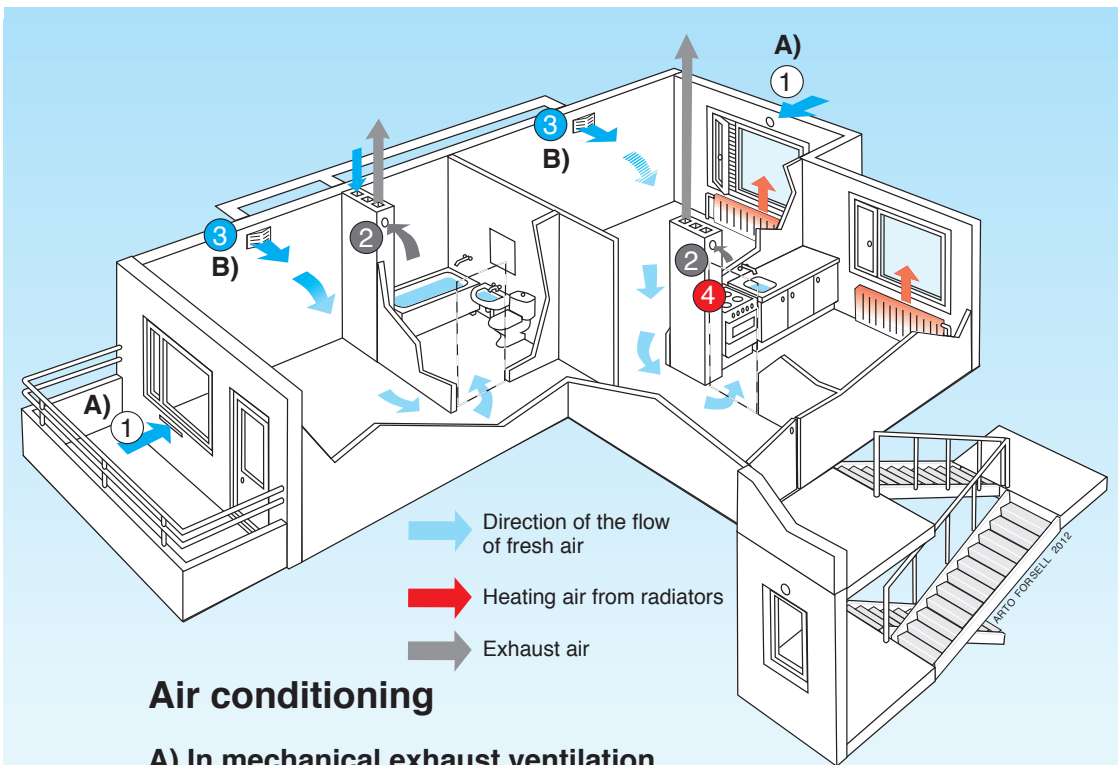
You must not ventilate the flat's sauna or bathroom into the flat by keeping the door open. The sauna and bathroom have air vents, and the humidity and steam are removed through these vents. (See the housing company's sauna in the cross-section of the building.)

12 Antenna system

The housing company either has a shared antenna, or it is part of the cable network. An additional antenna or a dish antenna cannot be installed without permission. You must ask for the building manager's permission first.

If there is an accident or something is broken

If a structure or an appliance that belongs to the flat is broken (such as a door, the toilet bowl, floor surface, air vent or similar), notify the building manager or the maintenance person.

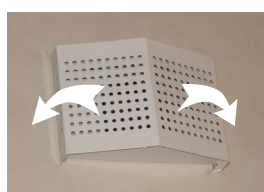


Air conditioning

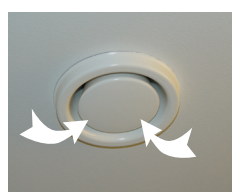
A) In mechanical exhaust ventilation the fresh air enters the flat through the windows or the valves ① in the external wall. The air is removed with a mechanical exhaust fan through valves ② in the kitchen, bathroom and walk-in closet.

B) In mechanical intake and exhaust ventilation the fresh air enters the flat through air ducts and valves. ③ The air is removed through exhaust valves. ② The air flow in the whole building is adjusted mechanically.

Do not cover the ventilation intake or exhaust valves. Clean the valves twice a year: wipe them clean with a damp cloth, but make sure that you do not change the settings of the valves. If there is fresh air coming in from an exhaust valve or if the smell of food is coming in from another flat through a valve, contact the building's maintenance company. This means that there is something wrong with the ventilation.



Valve for intake air



Valve for exhaust air

Kitchen and preparing food

Food may only be prepared in the kitchen.
Using a barbecue on the balcony is forbidden!
When you start to prepare food, turn the range hood **4** on. The fumes from the cooking exits through this hood.

The range hood has a grease filter, which prevents grease from collecting in the exhaust duct. **A grease fire is dangerous!** A dirty grease filter must be washed or replaced with a new one. The range hood should be cleaned at the same time. Do this every 3 months. Ask the maintenance person for more detailed instructions.

If the flat has a gas stove, learn carefully how to maintain and use it. You can get more information from the building manager.

Fire blanket

Make sure that the kitchen has a fire blanket attached to the wall where you can easily find it. Use it to smother a fire.

Remember: Never use water to put out a grease fire! Always put out a grease fire by smothering it.



Everyone is responsible for fire safety

The law requires that every flat must have at least one smoke alarm. In a large flat there must be several smoke alarms. A smoke alarm gives an alarm when there is fire or smoke in the flat. Check regularly that the smoke alarm works. If necessary, change the battery in the alarm.



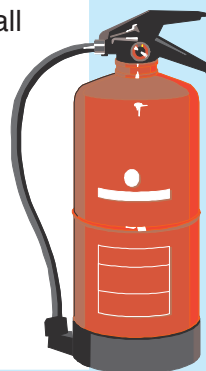
Note: The smoke alarm does not summon the fire brigade.

You must call them yourself! Dial 112

This is what you can do to prevent fires:

- Do not use electrical devices or cables in bad condition. Let a professional repair them.
- Do not try to fix a stove or another electrical appliance yourself. Contact the maintenance company or a repair shop.
- Do not cover radiators or heaters with textiles or clothes.
- Do not dry laundry on top of electric heaters or above the sauna stove.
- Always buy a suitable light bulb for a lamp. The lamp has a marking that tells you how powerful bulb to use.
- Turn off electrical devices as soon as you stop using them.
- Leave air space around the television, microwave oven, refrigerator and freezer. They must not be covered!
Do not stop the air flow around the appliance.
- Do not keep flammable fluids in the shared storage space. You can only store a small amount of those fluids in your flat.
Cooking oils are flammable fluids too!

Remember: Put out an electrical fire by smothering it with a fire blanket or by using a fire extinguisher! **Do not use water!**



This is what you can do to save energy:

- Change incandescent light bulbs to energy-saving lamps.
- Ventilate the flat quickly and efficiently.
- Turn the radio, television and computer off when you are not using them – do not leave them in the standby mode.



Alterations

Alterations cannot be made in the flat without permission. You must first discuss the alterations with the building manager or landlord. A building permit from an authority may also be required for the alterations. This is done to make sure that the building is a safe and healthy place to live.

There are detailed instructions on making alterations to rental flats. You can get these instructions from the building manager.

Housing rules of the building

Each building has housing rules.

They should be followed to maintain a good relationship with your neighbours.

Remember to do the following yourself:

- Clean or change the filters in the range hood every 3 months.
- Clean the ventilation valves twice a year.
- Clean the sewer drain trap and the floor drain when you clean your flat.
- Change the battery in the smoke alarm according to the instructions at least once a year.
- Defrost and clean the freezer once a year, for example in the winter when the temperature outside is below zero, or in the summer when there is not much in the freezer.

EMERGENCIES

Water damage

- 1) Try to close the water pipe from the shut-off valve and
- 2) call the building maintenance company's emergency number or
- 3) call a plumbing company that is on call.

Write down the maintenance company's emergency number

and the building manager's telephone number



ASUMISOPAS maahanmuuttajille 2013,
HELSINGIN KAUPUNKI / Lähiöprojekti;
Englannin kielen käännös Lingoneer Oy;
Axovaatio Oy/Teuvo Aro;
Mainostoimisto Arto Forsell Oy

In case of fire or other danger,
dial the emergency number

112